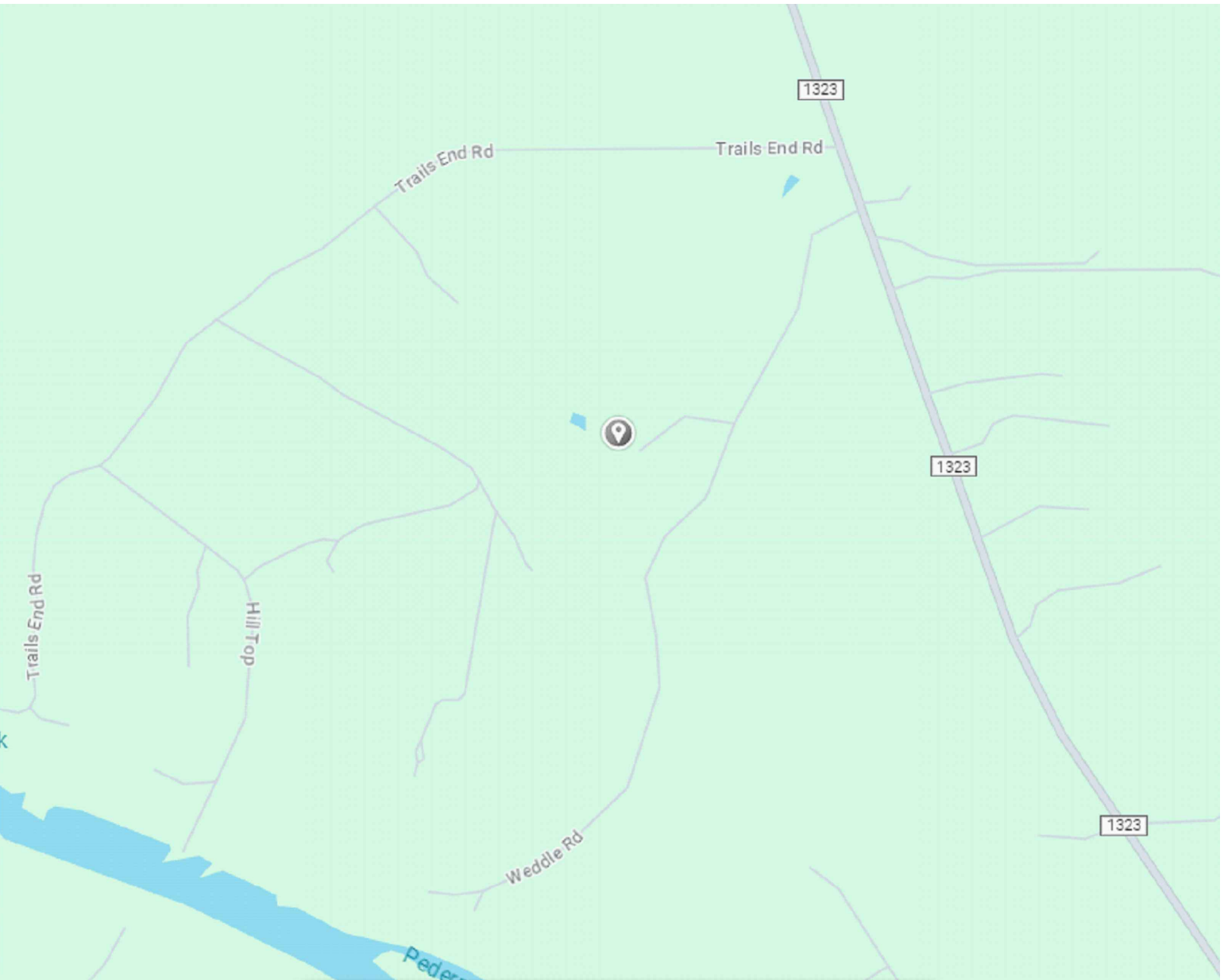


GARCIA-SMITH RESIDENCE

11006 WEDDLE ROAD
JOHNSON CITY, TX 78636



SITE INFORMATION

FRONT EXTERIOR ELEVATION

LOCATION

CONTENTS

- CS.1 COVER SHEET
- ID.1 FLOOR PLAN
- ID.2 ELECTRICAL
- ID.3 REFLECTIVE CEILING PLAN
- ID.4 FINISH PLAN
- ID.5 FURNITURE PLAN
- ID.6 ELEVATIONS
- ID.7 SCHEDULES

SYMBOL LEGEND

-  CEILING HEIGHT
-  ELEVATION MARKER
-  SECTION CUT MARKER
-  FINISH AND FURNITURE TAG
-  FACING DIRECTION

NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND OTHER REQUIREMENTS WHICH HAVE BEEN ADOPTED BY THE LOCAL JURISDICTION OR ARE OTHERWISE APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.
- THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.
- EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- ANY PROPOSED WORK THAT TAKES PLACE AFTER NORMAL BUSINESS HOURS SHALL BE MADE IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.
- JOB COPIES OF THE APPROVED BUILDING PLANS, REVISIONS, AND DEFERRED SUBMITTALS SHALL BE ON-SITE DURING INSPECTIONS.



11006 WEDDLE RD,
JOHNSON CITY, TX

PROJECT:

RESIDENTIAL DESIGN

INDS 2313

REVISIONS:

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DATE:

DRAFTED BY:

ALISSA ROEPKE

SHEET CONTENTS:

COVER SHEET

SHEET:

CS.1



11006 WEDDLE RD,
JOHNSON CITY, TX

PROJECT:

RESIDENTIAL DESIGN

INDS 2313

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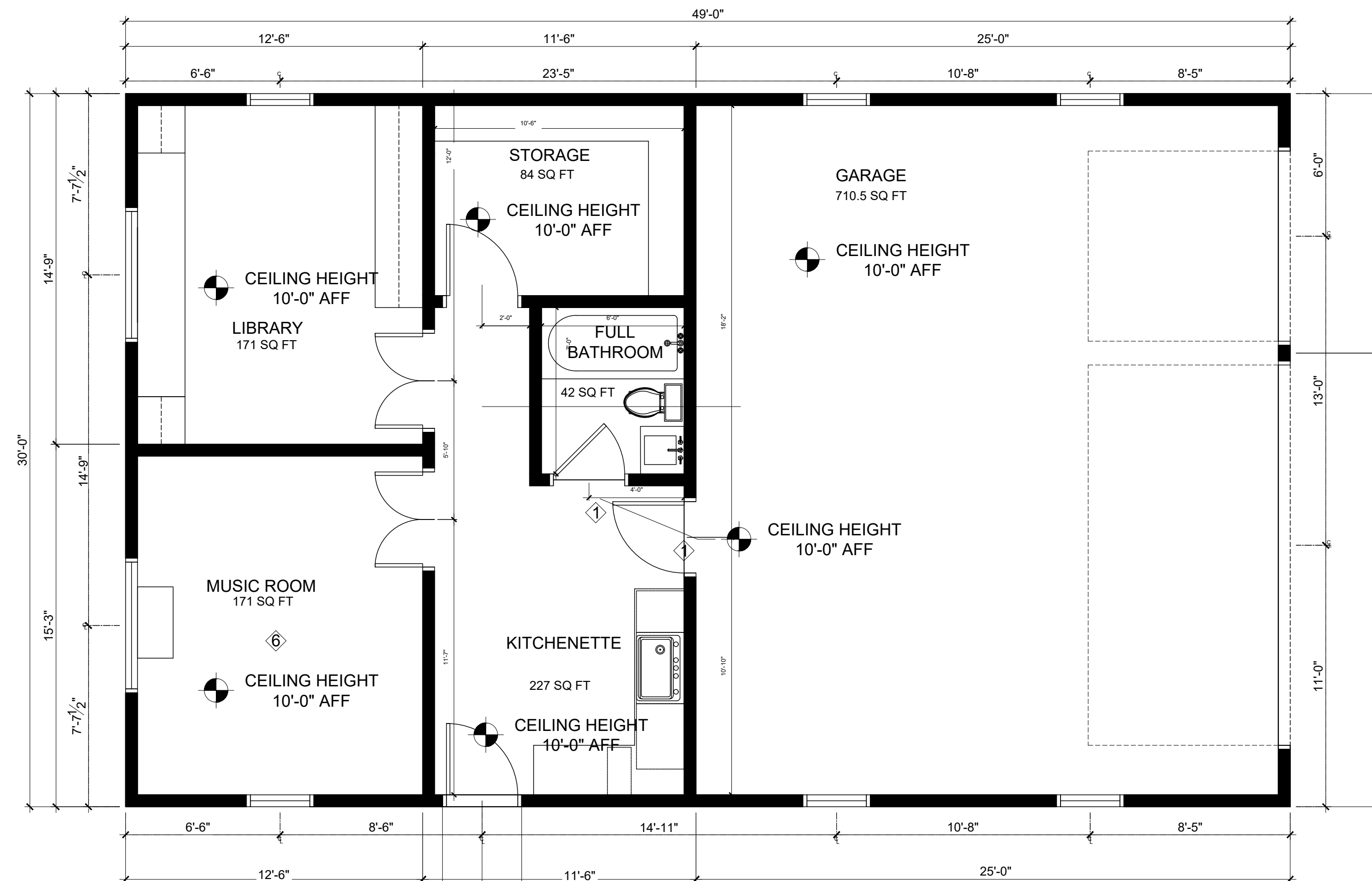
ALISSA ROEPKE

SHEET CONTENTS:

FLOOR PLAN

SHEET:

ID.1



2 "THE WOODSHED" FLOOR PLAN

2 "THE WOODSHED" FLOOR PLAN

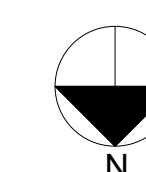
SCALE: 1/4" = 1'-0"

GENERAL NOTES

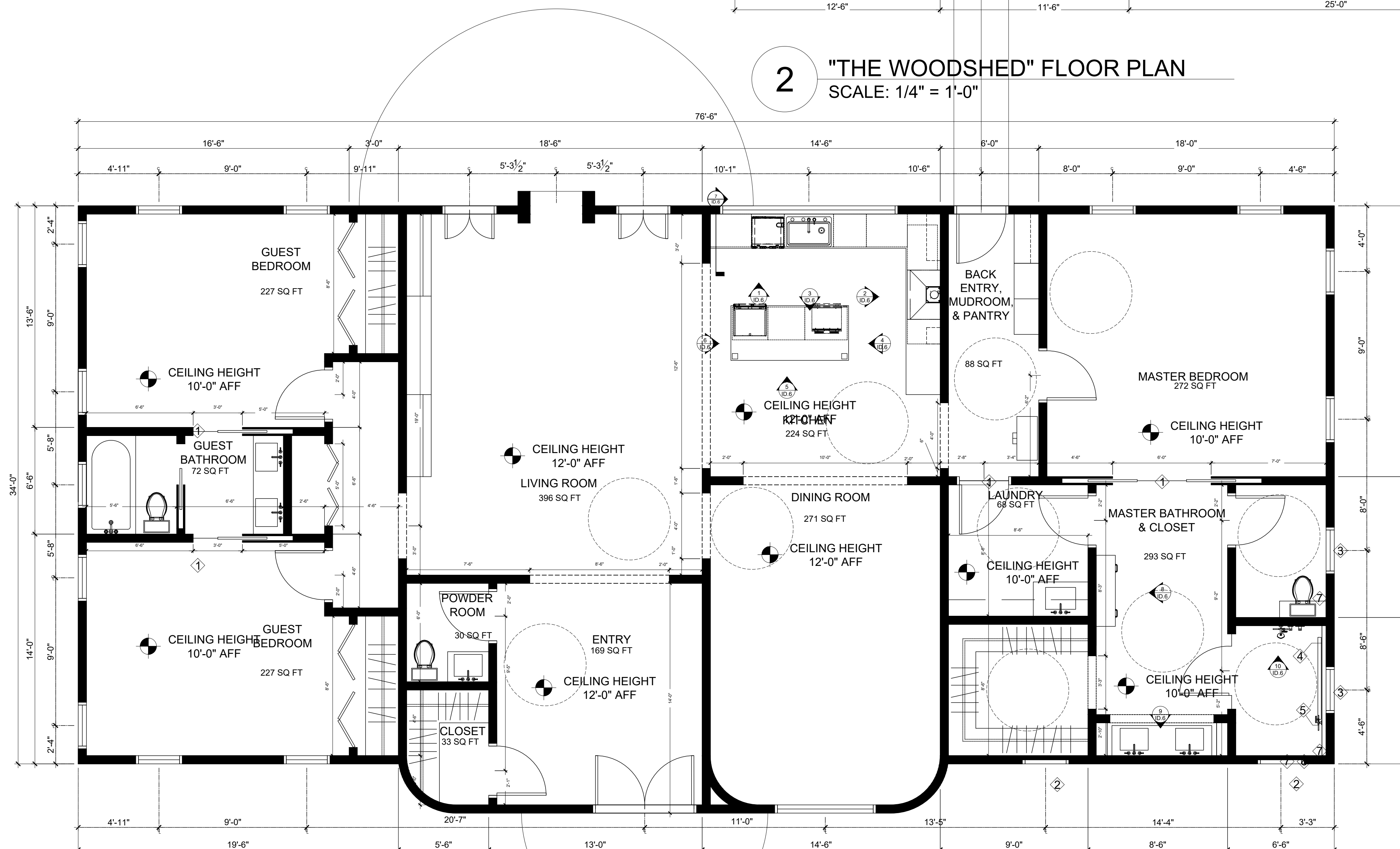
1. ALL WALLS TO BE 6" THICK
2. ALL WALL SURFACES TO RECEIVE ONE COAT OF PRIMER AND TWO COATS OF FINISH PAINT.
3. ALL TRIM PAINT TO BE BENJAMIN MOORE WHITE DOVE OC-17 IN SATIN GLOSS ENAMEL
4. ALL WALL PAINT TO BE BENJAMIN MOORE INDIAN WHITE OC-88 IN LATEX MATTE FINISH UNLESS OTHERWISE NOTED.
5. REMOVE ALL SWITCH AND OUTLET PLATES, WALL AND/OR DOOR HARDWARE, ETC BEFORE PREPARING SURFACE PRIOR TO NEW PAINT FINISH.
6. CONTRACTOR TO ENSURE THAT ALL DRYWALL IS FLUSH, CLEAN, AND FREE OF DUST PRIOR TO INSTALLATION OF WALL FINISHES. SAND AND DUST ALL PAINT FINISHES TO REMOVE DEFECTS VISIBLE FROM A 5'-0" DISTANCE.
7. CONTRACTOR TO ENSURE SUB-FLOOR CLEAN, SOLID, AND LEVEL PRIOR TO INSTALLING FINISH FLOORING.
8. ANY DISCREPANCIES ARE TO BE REVIEWED WITH DESIGNER PRIOR TO IMPLEMENTATION.
9. ALL ELECTRICAL WALL OUTLETS ARE TO BE 16" AFF UNLESS OTHERWISE NOTED
10. KERF JAMBS TO BE USED ON ALL DOORS AND WINDOWS

PLAN NOTES

- ① FLOORING CHANGE STARTS HERE
- ② WINDOWS ARE SPANDREL WINDOWS
- ③ TRANSOM WINDOWS ARE 5'-0" AFF
- ④ PONY WALL TO BE 3'-0" AFF
- ⑤ 60" LINEAR DRAIN TO BE INSTALLED 1" FROM OUTSIDE WALL; FLOOR TO SLOPE DOWNWARD FROM SHOWER ENTRANCE
- ⑥ ALL WALLS TO RECEIVE SOUNDPROOFING BARRIER AND INSULATION
- ⑦ HORIZONTAL GRAB BAR BLOCKING SHALL BE PLACED 36" AFF IN ACCORDANCE WITH APPLICABLE CODES
- ⑧ VERTICAL GRAB BAR BLOCKING SHALL BE PLACED 36" ON CENTER AFF IN ACCORDANCE WITH APPLICABLE CODES



3158 SQ FT

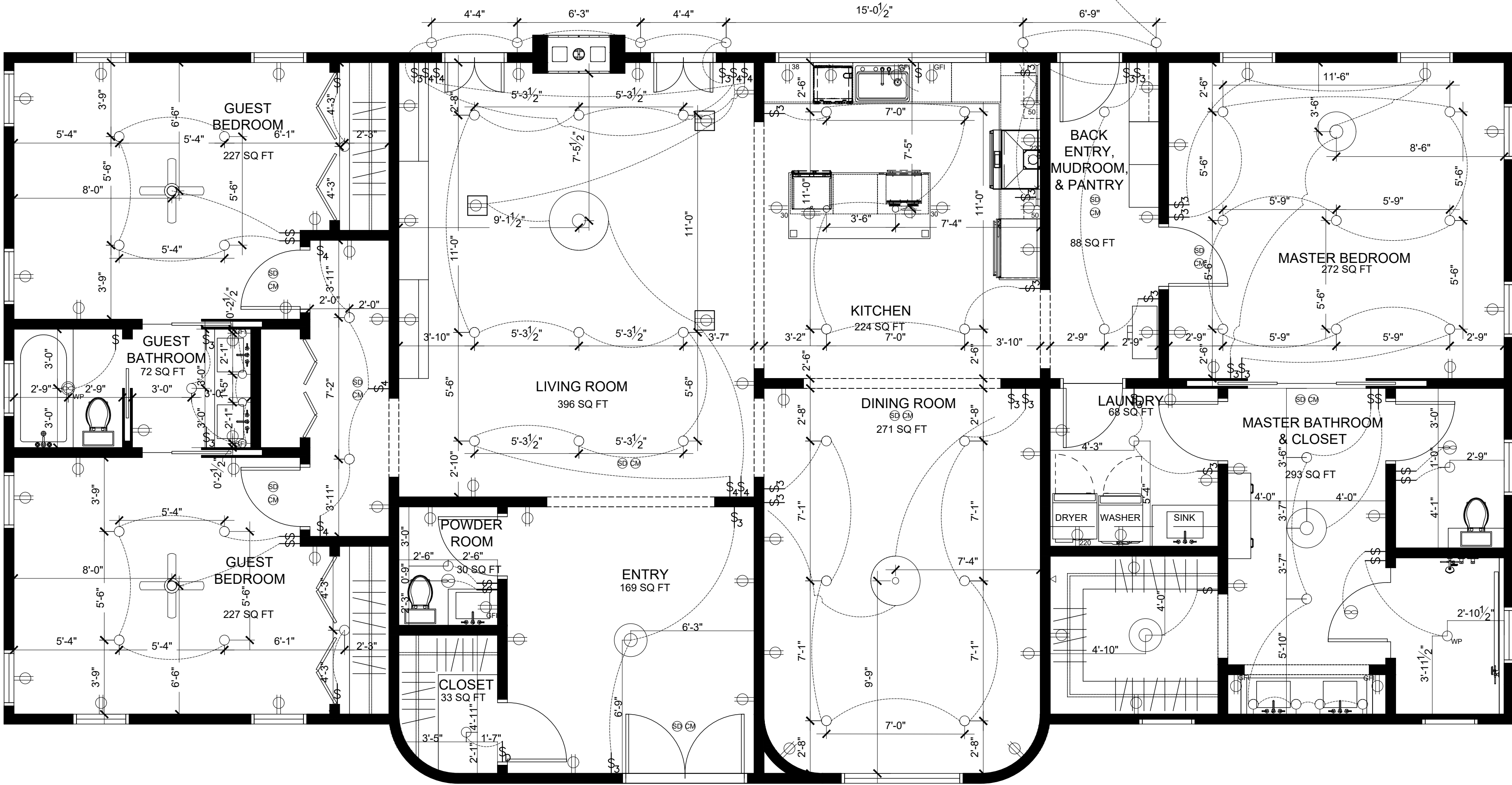


1) MAIN HOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"

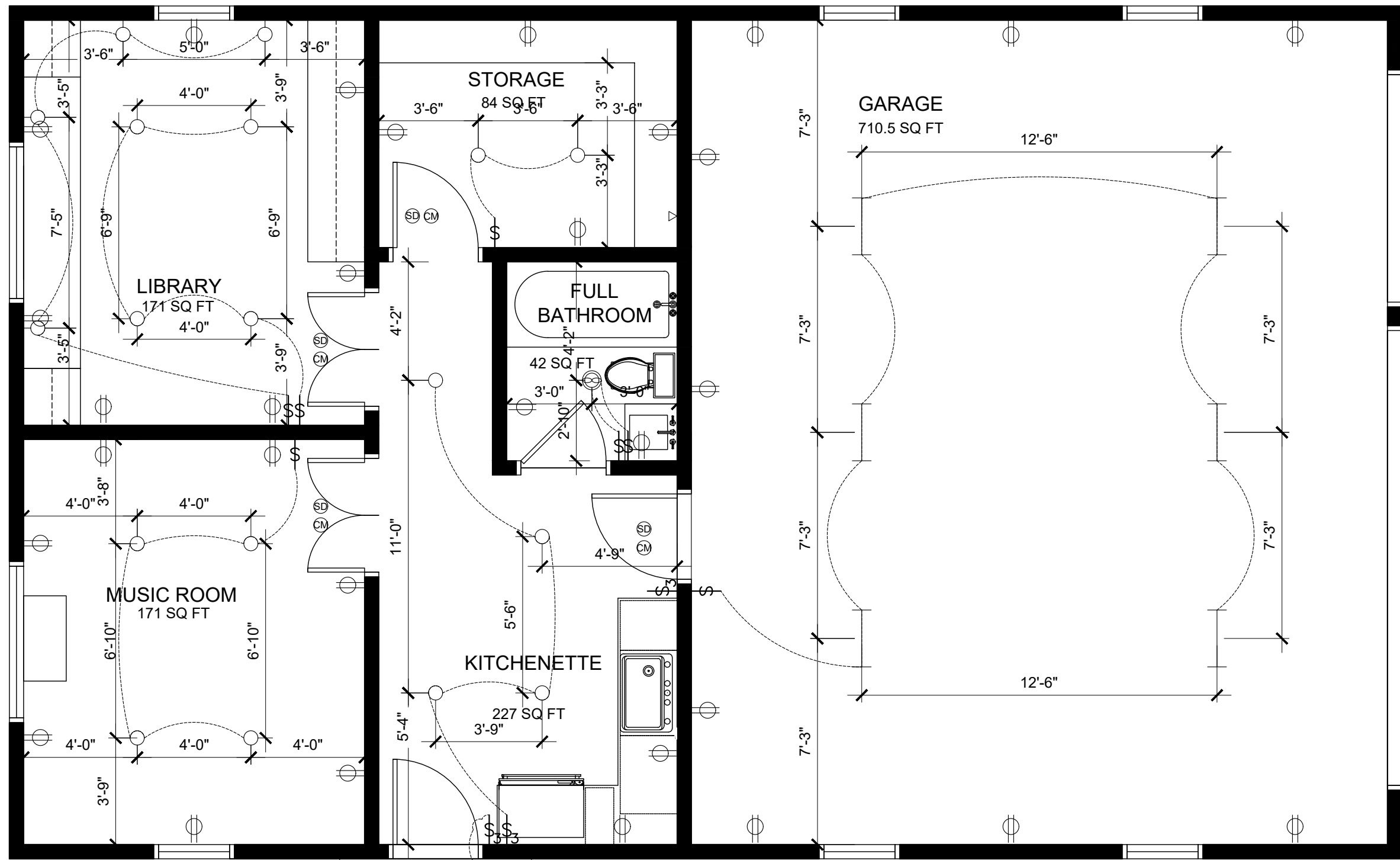
1) MAIN HOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 MAIN HOUSE ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

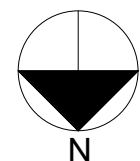
2 "THE WOODSHED" FLOOR PLAN
SCALE: 1/4" = 1'-0"



LIGHTING AND POWER SYMBOLS	
LIGHTING	
	SCONCE
	FLUORESCENT LIGHT
	VENTILATION FAN
	3\"/>
	WATERPROOF VENTILATION FAN WITH LIGHT FIXTURE
	PENDANT
	UNDER CABINET LIGHT
	CEILING FAN WITH LIGHT

SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DOOR JAMB SWITCH

OUTLETS	
	DUPLEX OUTLET AT 18\"/>
	DUPLEX OUTLET AT 30\"/>
	DUPLEX OUTLET AT 38\"/>
	DUPLEX OUTLET AT 50\"/>
	GROUND FAULT INTERRUPTER AT 38\"/>
	220 VOLT OUTLET
	FLOOR OUTLET
	DATA (CAT 5)
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



PROJECT:

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DATE:

DRAFTED BY:

ALISSA ROEPKE

SHEET CONTENTS:

ELECTRICAL
PLAN

SHEET:

ID.2

PROJECT:

RESIDENTIAL DESIGN

INDS 2313

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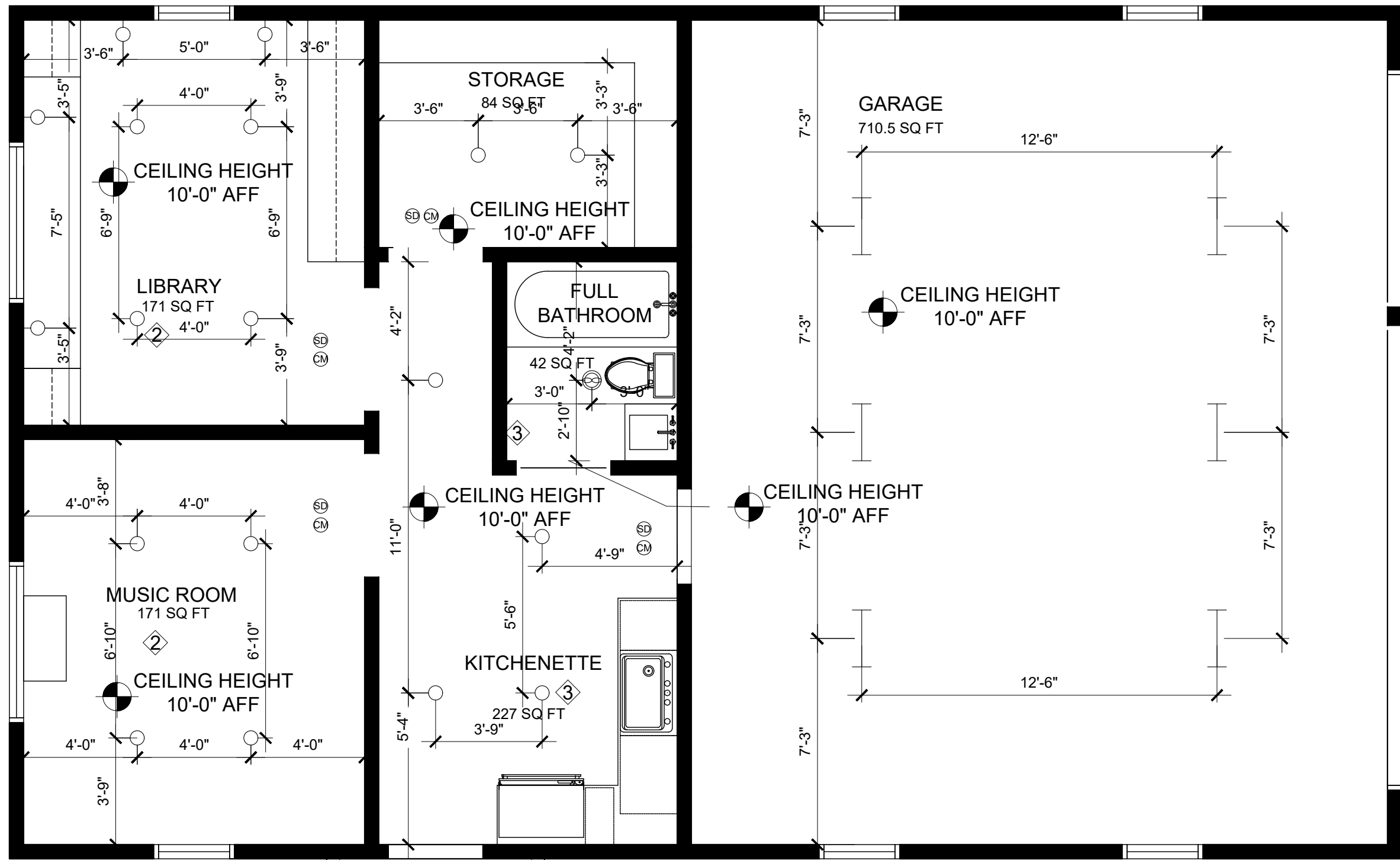
ALISSA ROEPKE

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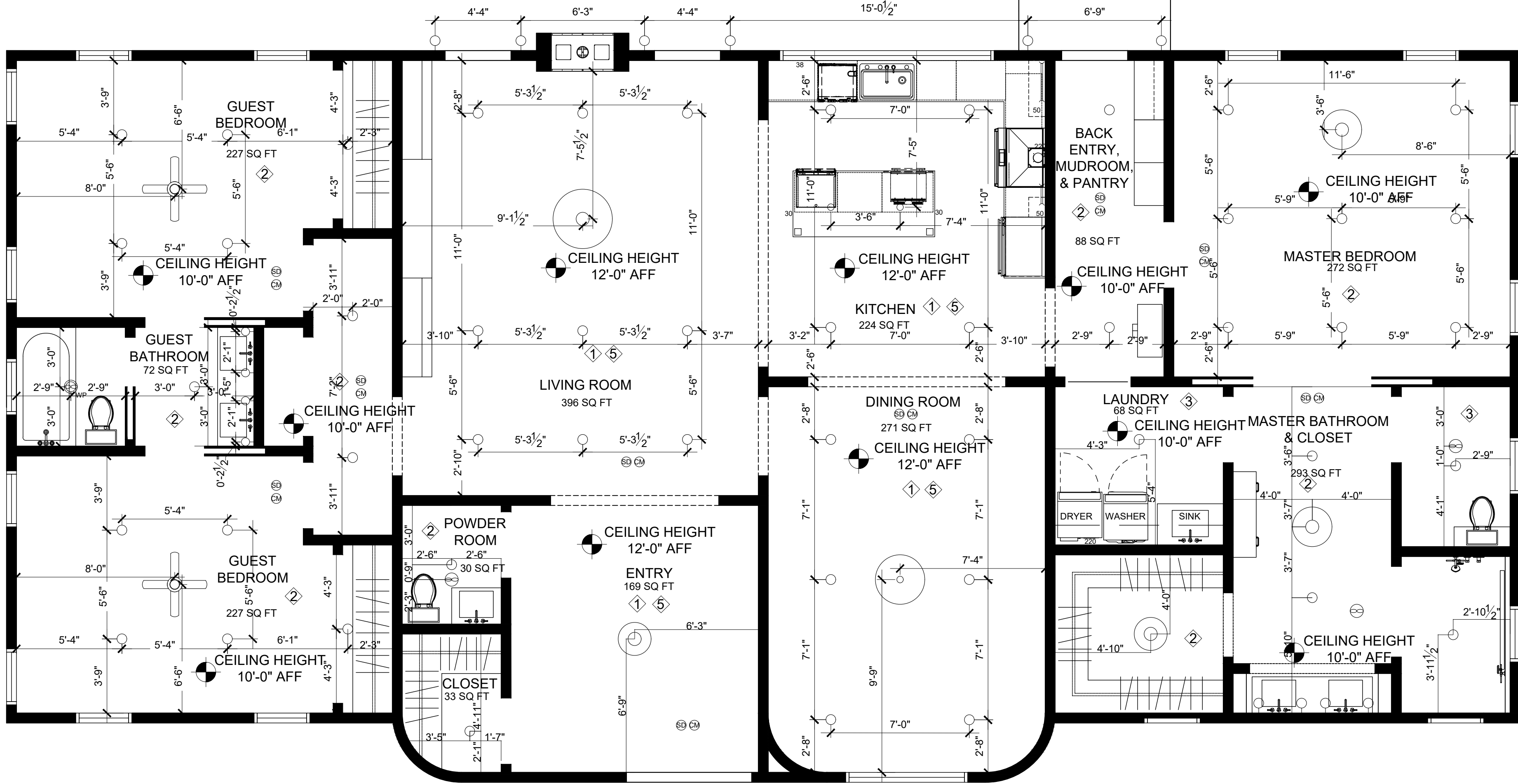
REFLECTED
CEILING PLAN

SHEET:

ID.3

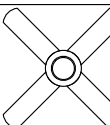


2 "THE WOODSHED" FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES
- ALL CEILINGS TO RECEIVE LEVEL 5 FINISH
 - ALL CEILINGS TO RECEIVE ONE COAT OF PRIMER AND TWO COATS OF FINISH PAINT
 - ALL CEILING PAINT TO BE BENJAMIN MOORE WHITE DOVE OC-17 IN EGSHELL ENAMEL UNLESS OTHERWISE NOTED
- PLAN NOTES
- ROOM TO HAVE 12'-0" COVE CEILINGS; COVE TO HAVE 2'-0" RADIUS
 - ROOM TO HAVE 10'-0" CEILINGS WITH ABC123 CROWN MOLDING
 - ROOM TO HAVE 10'-0" CEILINGS WITH XYZ123 CROWN MOLDING
 - BREEZEWAY ROOF TO BE ARCHED, 7'-8" WIDE, 1'-2" HIGH. THE BOTTOM SHALL BE 7'-9" AFF
 - CEILING PAINT TO BE BENJAMIN MOORE INDIAN WHITE OC-88 IN LATEX MATTE FINISH

LIGHTING AND POWER SYMBOLS	
LIGHTING	
	SCONCE
	FLUORESCENT LIGHT
	VENTILATION FAN
	3" CEILING LIGHT
	WATERPROOF VENTILATION FAN WITH LIGHT FIXTURE
	PENDANT
	UNDER CABINET LIGHT
	CEILING FAN WITH LIGHT

PROJECT:

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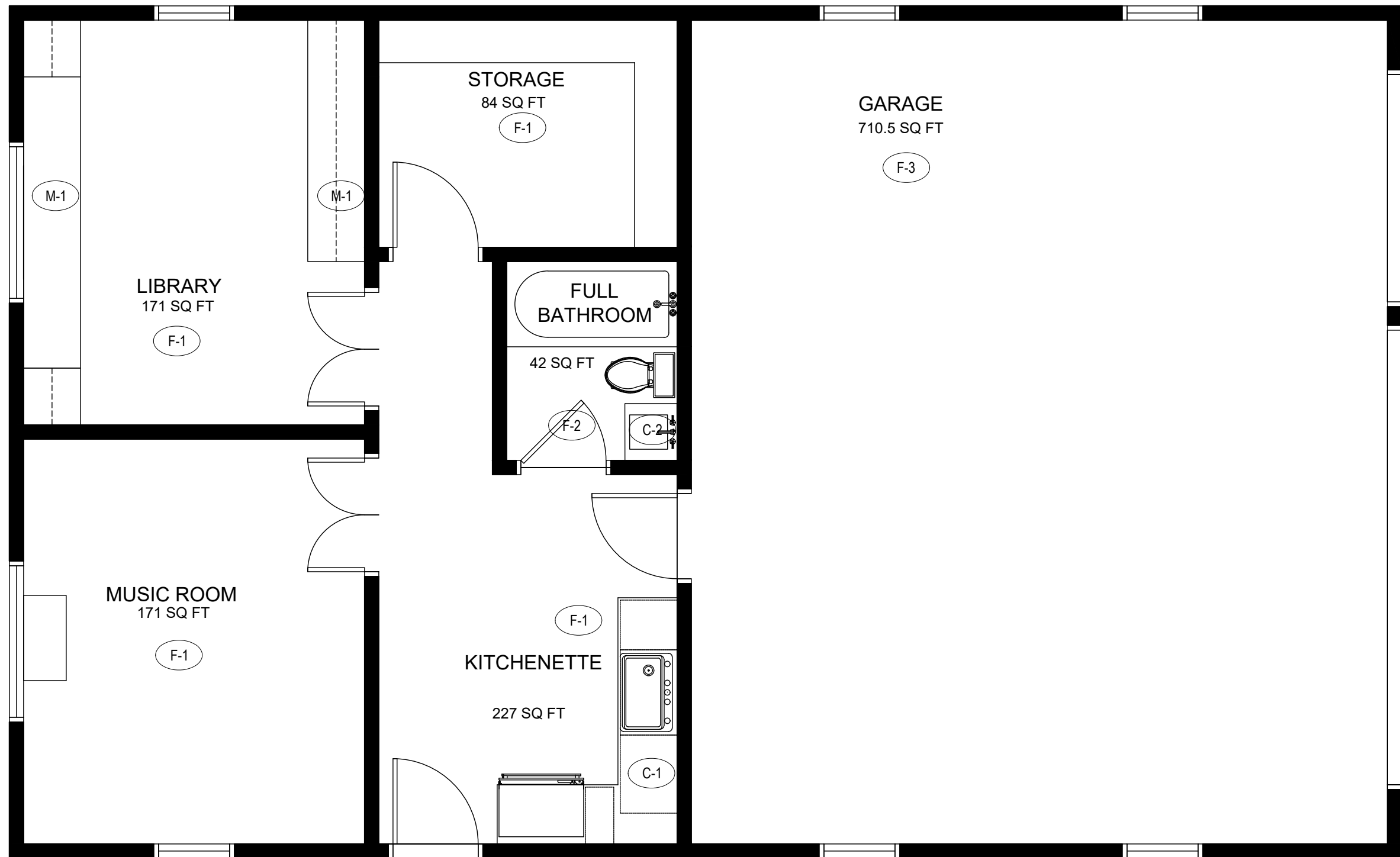
ALISSA ROEPKE

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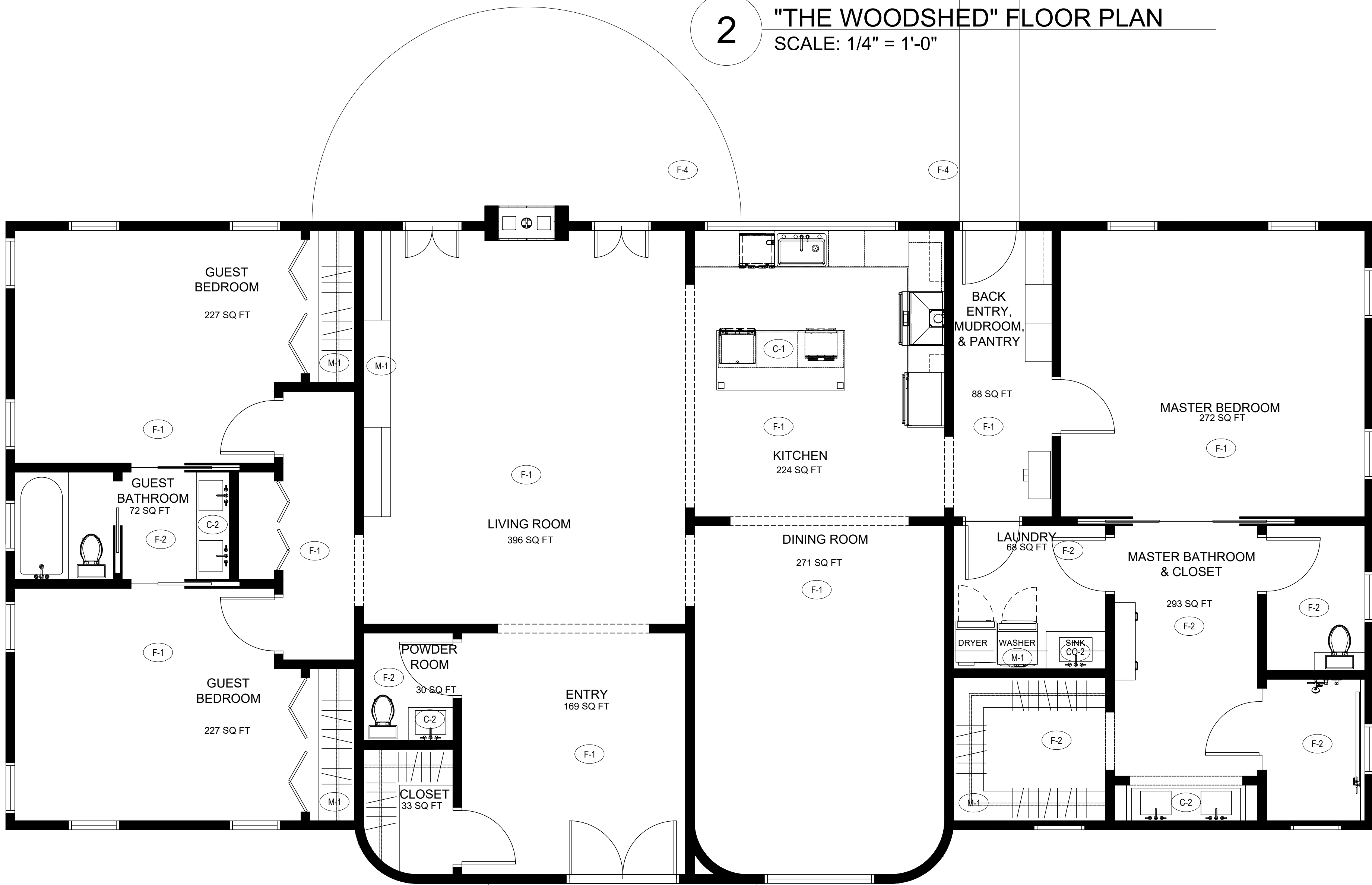
FINISH PLAN

SHEET:

ID.4

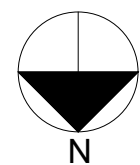


2 "THE WOODSHED" FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 MAIN HOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINISH PLAN				
TAG	MANUFACTURER	DESCRIPTION	DIMENSION	ITEM NUMBER
FLOOR				
F-1	HURST HARDWOODS	3 1/2" MAPLE PLANK IN MINWAX ENGLISH CHESTNUT	3 1/2 X VAR X 5/8	ENGHMSB31/4
F-2	CARRARA ITALIA	CALACATTA GOLD 12X12	12 X 12 X 3/8	CAL-12X12-POL
F-3	SHERWIN WILLIAMS	EPOXY FLOOR IN BLUE		
F-4	STONE CENTER	FLAGSTONE IN NATURAL SAND	VARIOUS	
COUNTERTOP				
C-1	SLAB YARD	SOAPSTONE SLAB	0 1/2" THICK, MEASURED ONSITE	
C-2	SLAB YARD	CARRARA MARBLE	1 1/2" THICK, MEASURED ONSITE	
OTHER SURFACES				
M-1		ASH HARDWOOD WITH CLEAR SEALANT	2" THICK	



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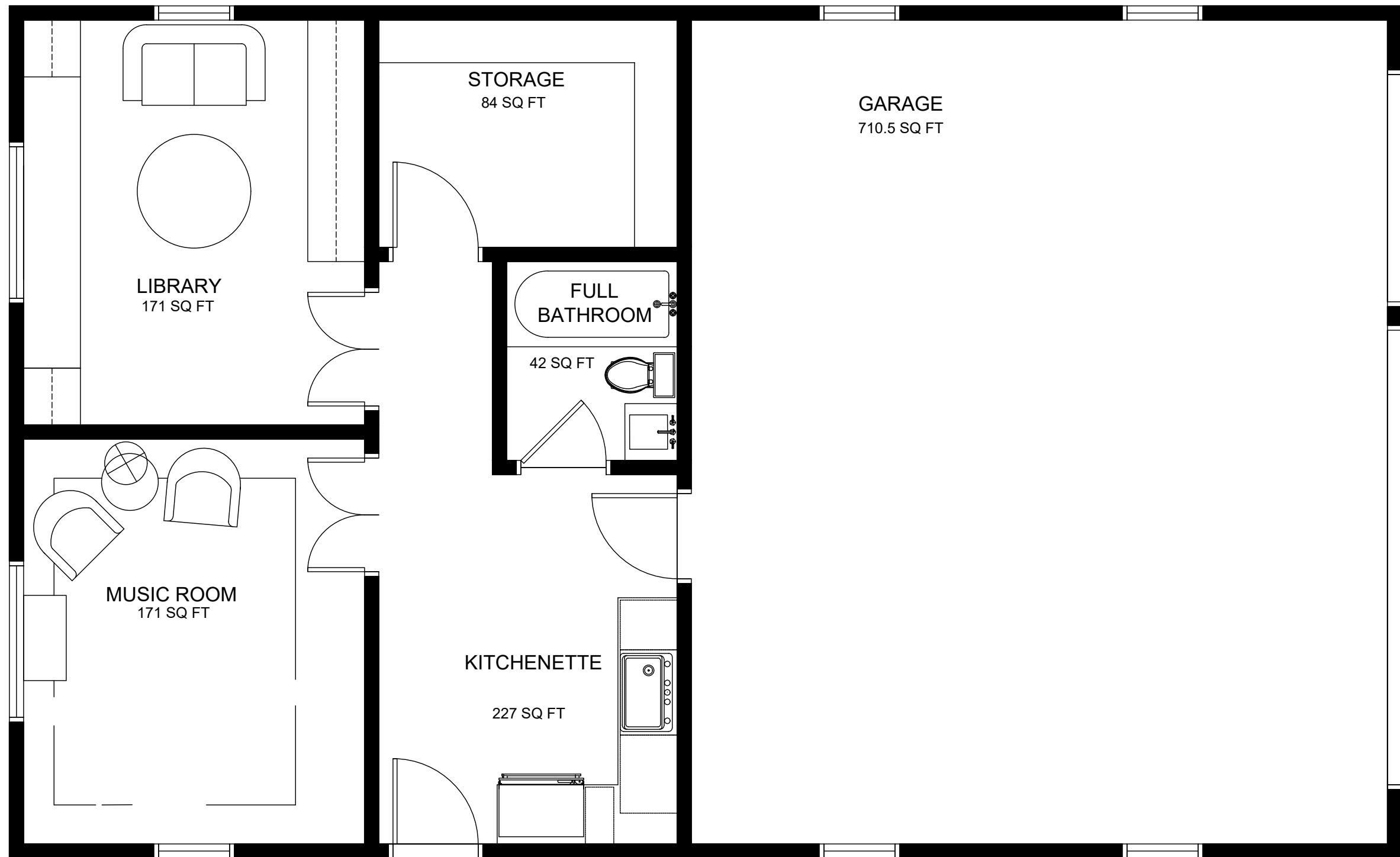
ALISSA ROEPKE

SHEET CONTENTS:

FURNITURE
PLAN

SHEET:

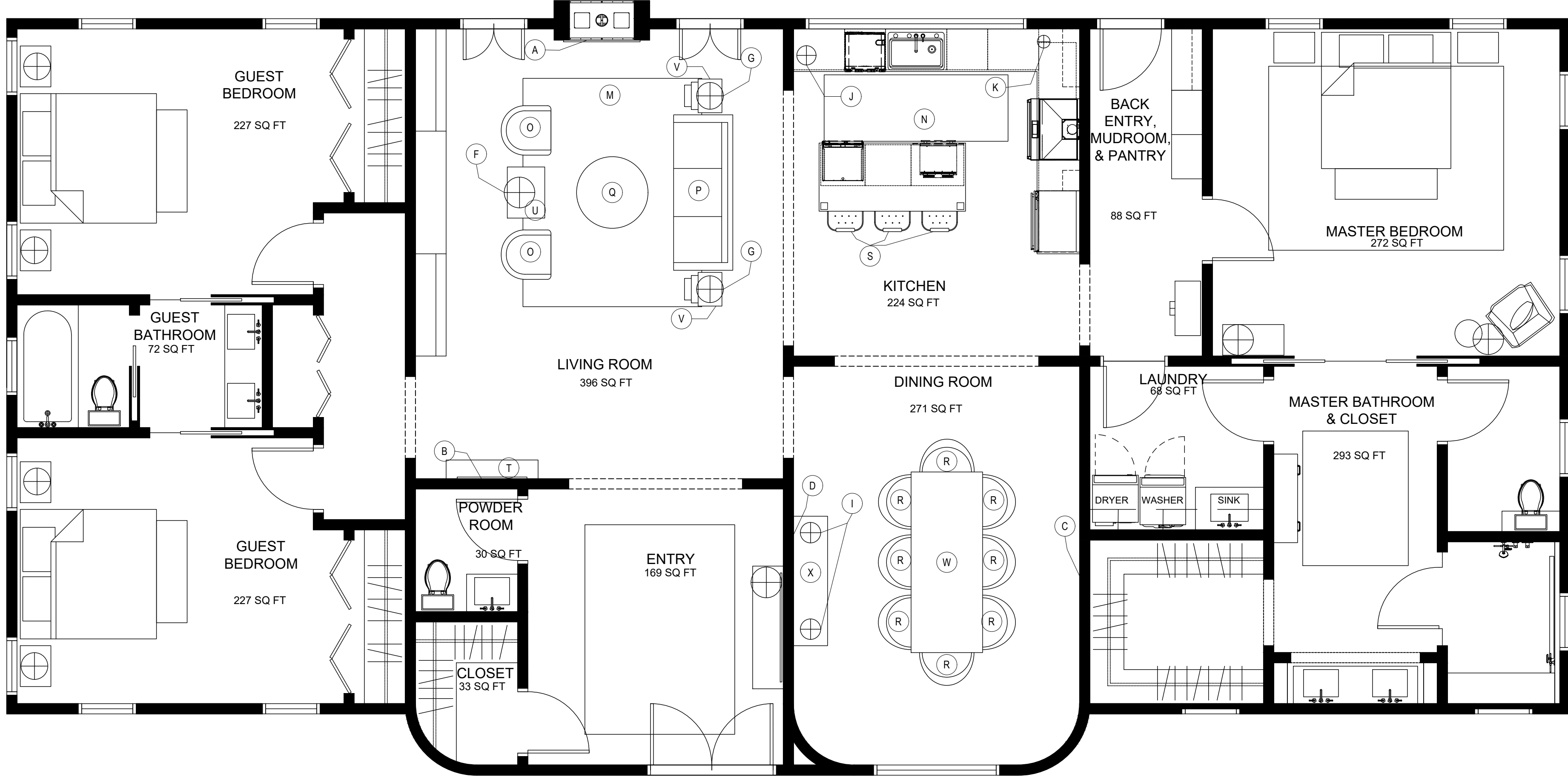
ID.5



2

"THE WOODSHED" FLOOR PLAN

SCALE: 1/4" = 1'-0"

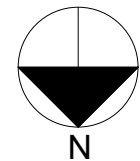


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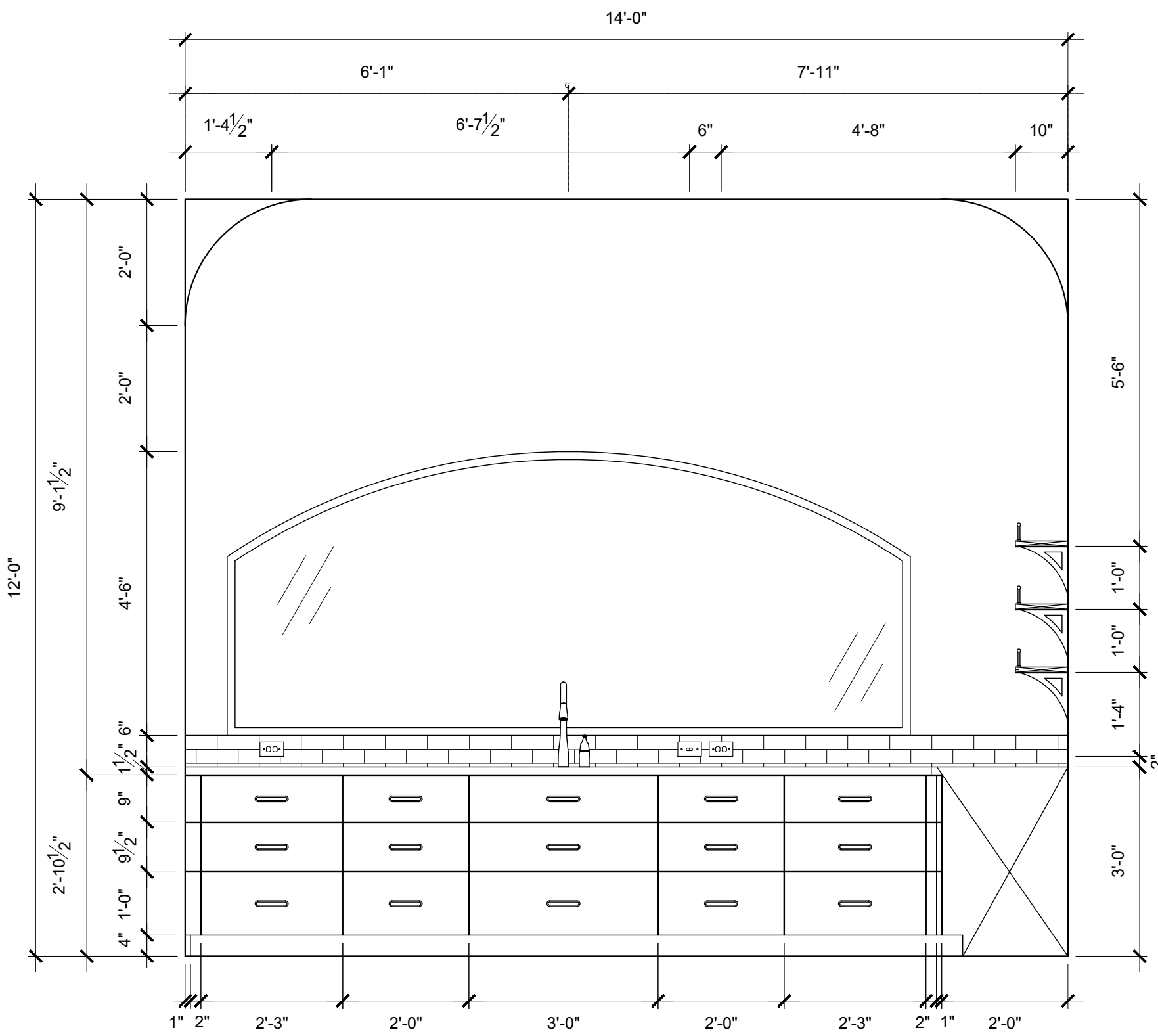
MAIN HOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"

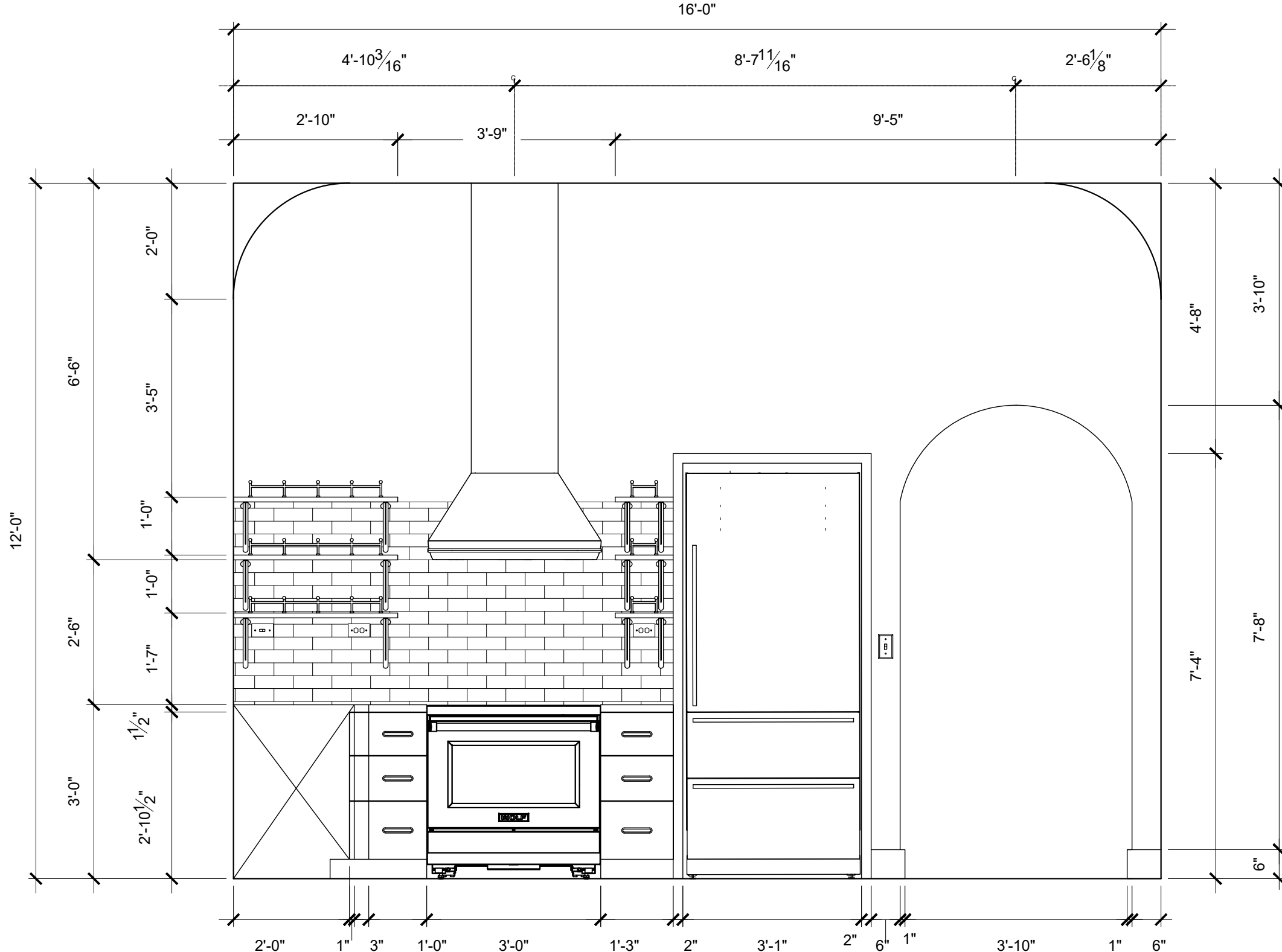
FURNITURE SCHEDULE							
TAG	LOCATION	MFG	NAME	ITEM NUMBER	FINISH/COLOR	SIZE	QTY
ART							
A	LIVING ROOM	CARMEN HERRERA	BLANCO Y VERDE		CANVAS	45 X 51	1
B	LIVING ROOM	JOAN MIRO	THE GOLD OF THE AZURE		CANVAS	80.7 X 68.3	1
C	DINING ROOM	FAMILY HEIRLOOM	"THE KISS" BY KLIMT		FRAMED	100 X 100	1
D	DINING ROOM	GARETH GRIFFITHS	SUNSET		YELLOW	22.44 X 33.07 X 1.97	1
LIGHTING							
E	LIVING ROOM	HEPARTS HOME	BUBBLES MODERN GLASS BALL CHANDELIER		CLEAR SHADES, WARM LIGHT	37 LIGHT, 15 CM	1
F	LIVING ROOM	GABBY	VALENCIA TABLE LAMP	SCH-155140	ALABASTER & GILDED GOLD	18 X 18 X 25.5	1
G	LIVING ROOM	ELLA HOME	MODENA CERAMIC TABLE LAMP	IL110AS	ANTIQUE BRASS	15.75 X 15.75 X 24.8	2
H	DINING ROOM	VISUAL COMFORT	VACARRO 10-LIGHT CHANDELIER	JN 5130AGL	AGED GOLD LEAF	30.5 X 30.5 X 26.75	1
I	DINING ROOM	WEST ELM	MARBLE PILLAR TABLE LAMP	W925	MARBLE	16.5 X 16.5 X 24.5	2
J	KITCHEN	SURYA	FUNGIAIRE ACCENT LAMP	FUN-001	GOLD	13.75 X 13.75 X 20	1
K	KITCHEN	REGINA ANDREW	SOUTHERN LIVING AIREL TABLE LAMP	FUY10401		7.5 X 7.5 X 18.5	1
L	KITCHEN	REGINA ANDREW	SIGMUND 1-LIGHT PENDANT		WHITE	15 X 15 X 8	2
RUG							
M	LIVING ROOM	FAMILY HEIRLOOM	SAROUK		CORAL, INDIGO, & CREAM	111 X 155	1
N	KITCHEN	FAMILY HEIRLOOM	ANATOLIAN		RUST, PUTTY, & BROWN	39 X 108	1
SEATING							
O	LIVING ROOM	FOUR HANDS	CORBIN BARREL CHAIR		NAVY PLAIN WEAVE & BRASS	29 X 29.25 X 26.5	2
P	LIVING ROOM	FOUR HANDS	DYLAN SOFA		EMERALD VELVET	91.25 X 34.75 X 25.25	1
Q	LIVING ROOM	FOUR HANDS	KENSINGTON ROUND OTTOMAN		WHITE BOUCLE & SIENNA BROWN	36 X 36 X 18	1
R	DINING ROOM	INTERLUDE	MARTINE BARREL CHAIR		SURF POLYESTER TWILL	32 X 29 X 32	6
S	KITCHEN	SUNPAN MODERN	BEAUMONT BARSTOOL	104014	BRASS & NAVY LEATHER	21 X 20.2 X 35.25	3
TABLE							
T	LIVING ROOM	WOODBIDGE	JUDE CONSOLE		WALNUT & THASSOS WHITE MARBLE	54 X 11 X 32.25	1
U	LIVING ROOM	CARACOLE	MODERN STREAMLINE SLED END TABLE	M021-417-414	AGED BOURBON	30 X 22 X 24	1
V	LIVING ROOM	KRAVET	FAUX SHAGREEN TABLE SET	QR-10951.IVORY.0	IVORY	19.75 X 14 X 20	2
W	DINING ROOM	URBIA	MODERN BRAZILIAN RECTANGULAR DINING TABLE		BLACK TOP, NOGAL BASE	86.5 X 43.5 X 30	1
X	DINING ROOM	FAMILY HEIRLOOM	BUFFET		WALNUT	22 X 69 X 35	1



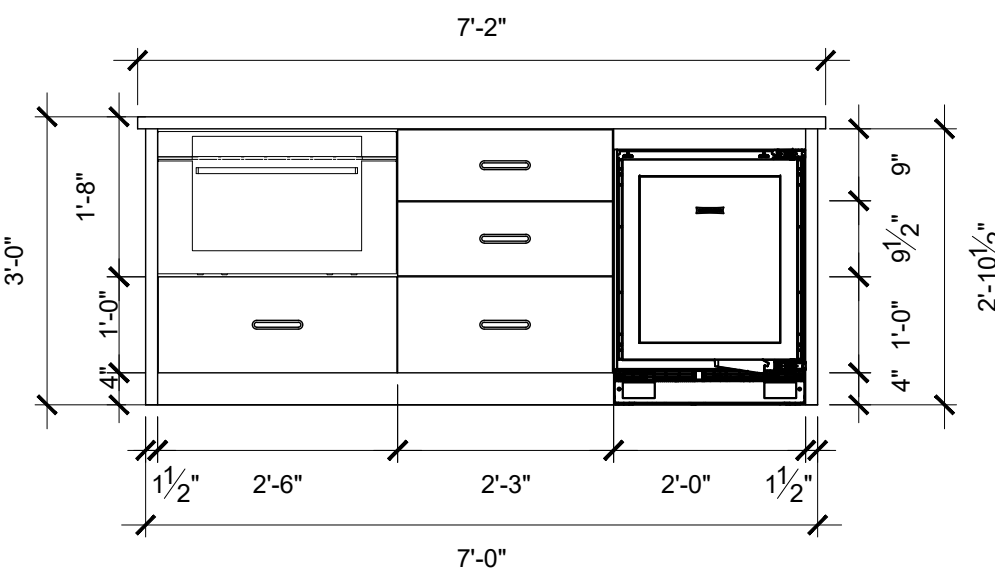
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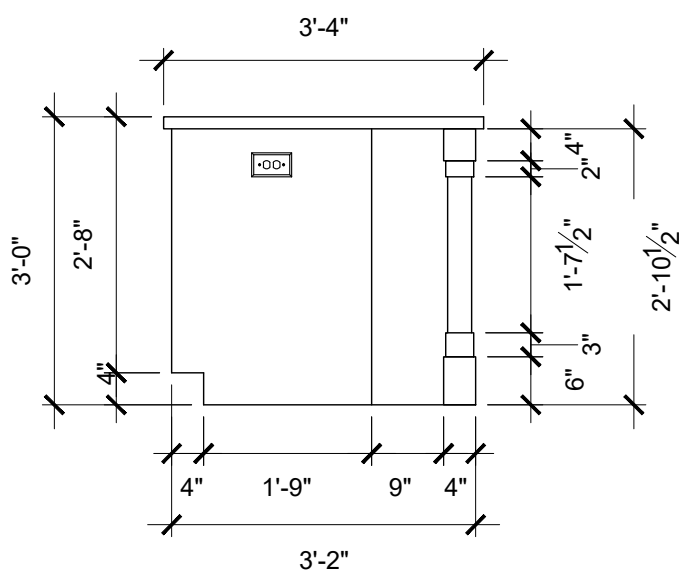
1 SOUTH KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



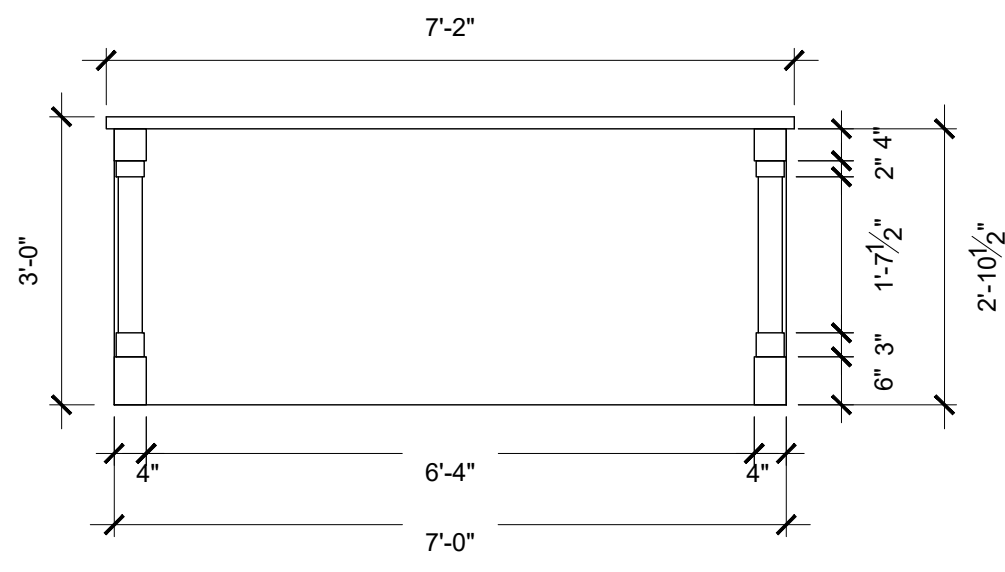
2 WEST KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



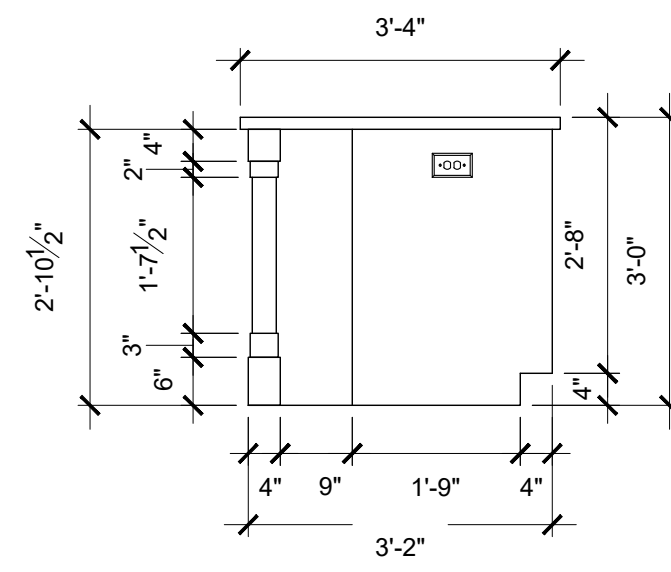
3 NORTH ISLAND ELEVATION
SCALE: 1/2" = 1'-0"



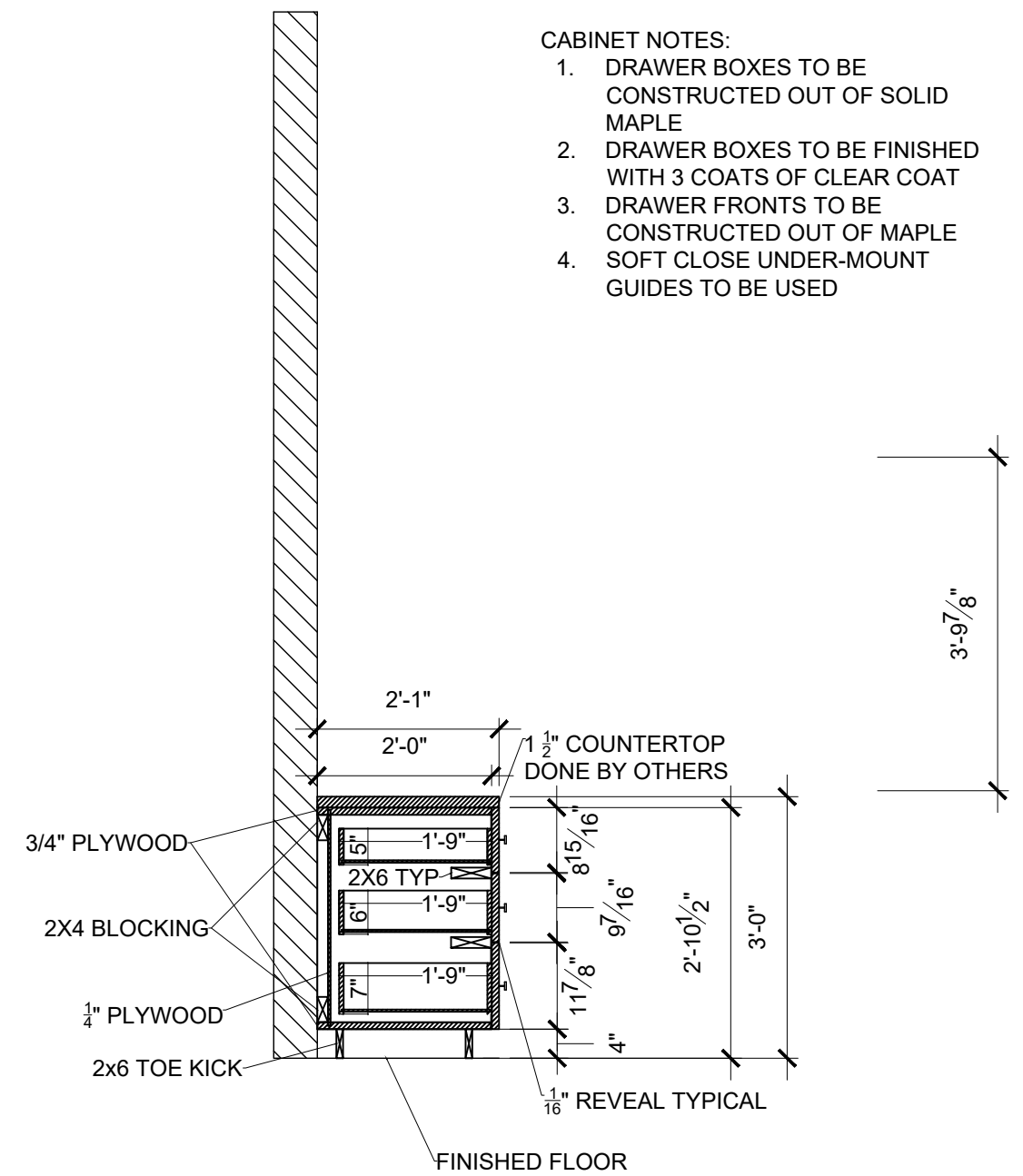
4 EAST ISLAND ELEVATION
SCALE: 1/2" = 1'-0"



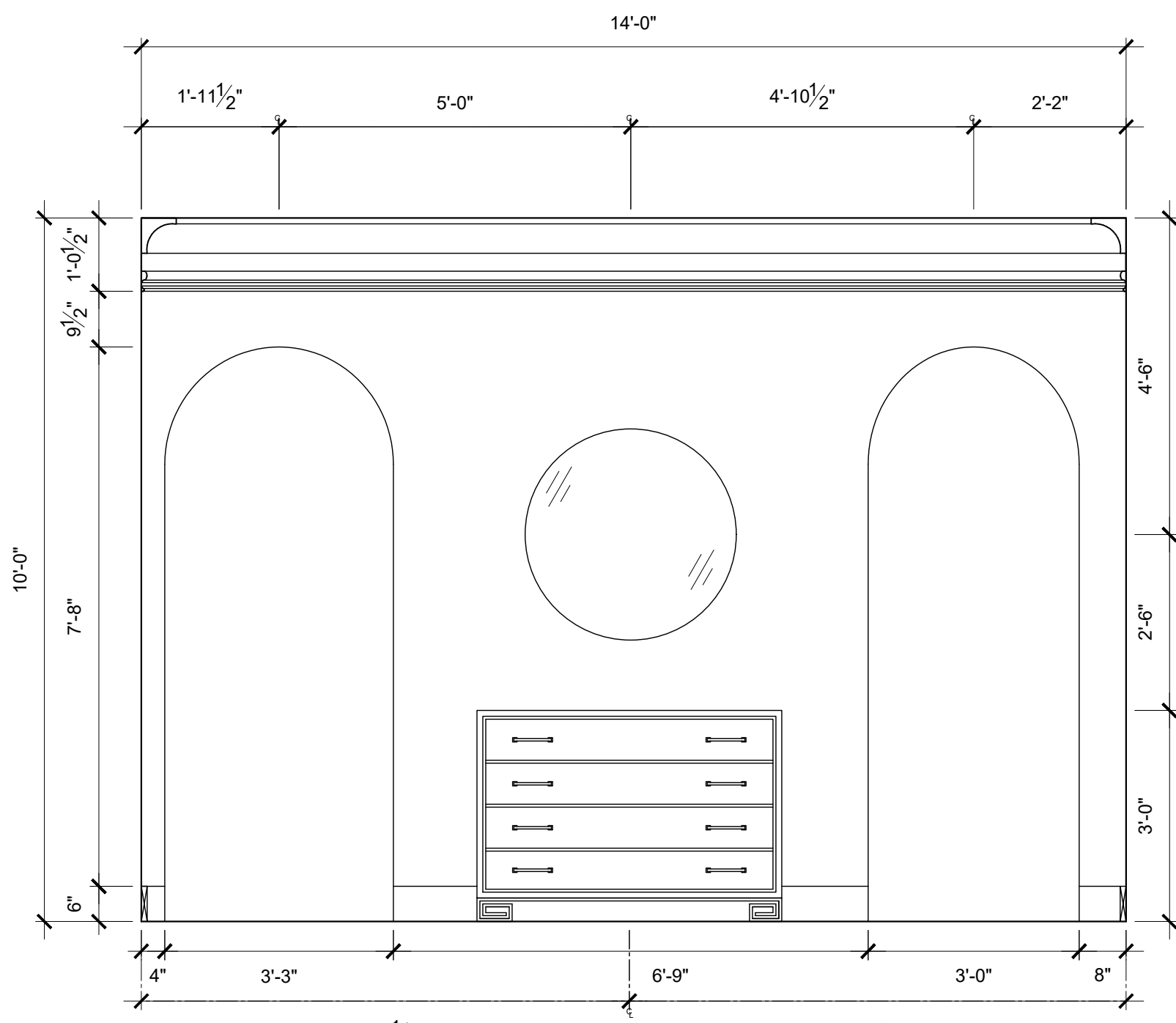
5 SOUTH ISLAND ELEVATION
SCALE: 1/2" = 1'-0"



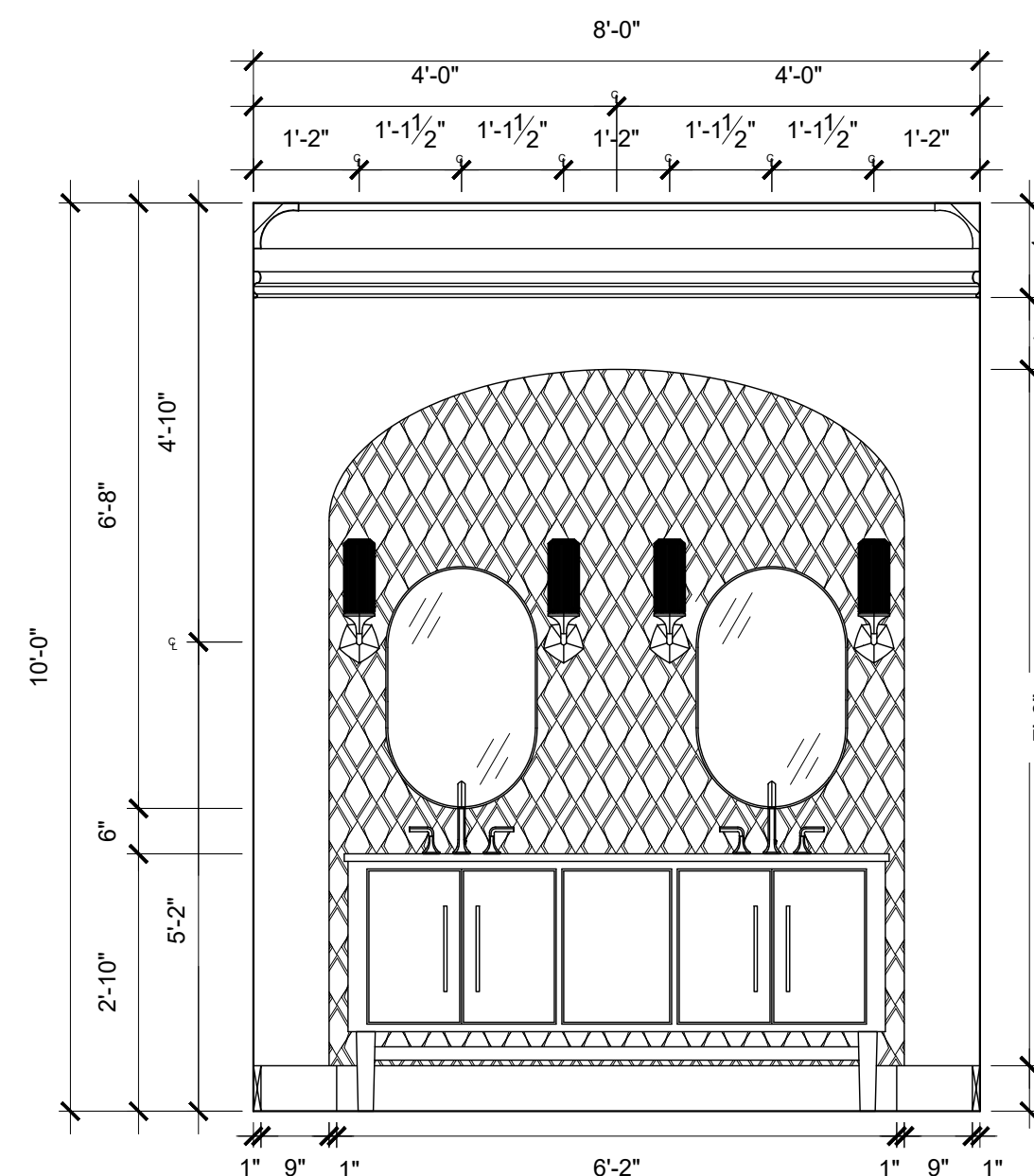
6 WEST ISLAND ELEVATION
SCALE: 1/2" = 1'-0"



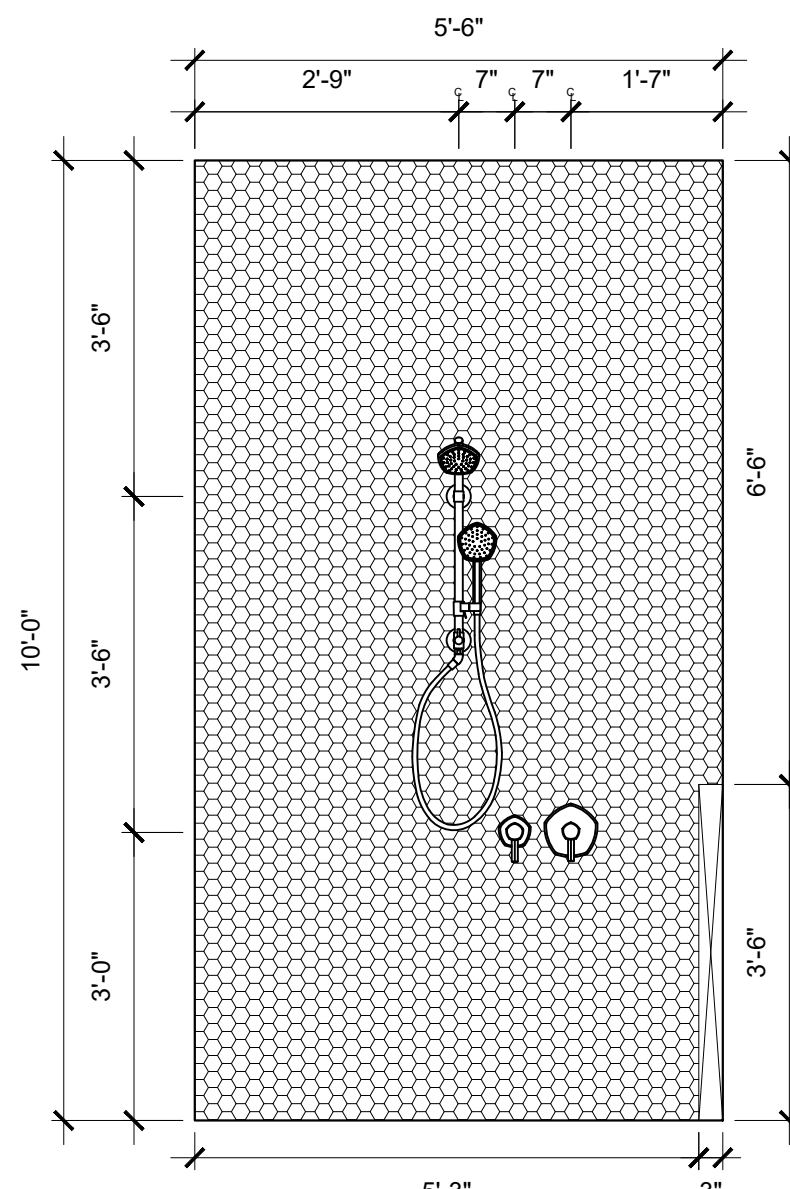
7 KITCHEN CABINET SECTION
SCALE: 1/2" = 1'-0"



8 EAST MASTER BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



9 NORTH MASTER BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



10 SOUTH MASTER SHOWER ELEVATION
SCALE: 1/2" = 1'-0"